

WAIPA COUNTY

45521827.00

PA907-01-03

Application for Building Permit

(Please See Back Hereof)

TO THE WAIPA COUNTY COUNCIL,

P.O. BOX 12, TE AWAMUTU

I hereby apply for permission to Erect a Private Dwelling
 (Erect, etc.)
 at LOT 2 Sheehan ST Kibukibi
 (House No. and Road)
 for Mr & Mrs Thompson, of Springdale
 (Owner) (Address)

according to locality plan and detailed plans and specifications of building deposited herewith,
 Nature of Building(s) Fibro Plank Iron Roof Straight Gable
 (General description, type, etc.)

Particulars of Building(s)—Foundations Piles and Concrete
 Walls Fibro Plank Roof Long Run Iron
 Area of Ground Floor _____ sq. **M** Area other Floor(s) 9/6 sq. **M** Area Outbldgs. _____ sq. **M**
 Particulars of Land—Lot No. 2 D.P. 18064
Area 2671^{2m}

Estimated Value

Number on Valuation Roll

Building _____ \$ 15945.00
 Plumbing and Drainage _____ \$ 950.00
 Total _____ \$ 16925.00

PA 455 / 224 / 1

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose): Private Dwelling

(Dwelling, Apartments, Private Garage, Joinery Factory, Offices, etc.)

Nature of ground on which building is to be placed and the subjacent strata _____

Estimated Date of Completion Three Weeks Signature of Owner NC Thomson

Dated 8/4/76 19____ Signature of Builder J. Colburn 6176

(State name of Licensed Plumber, if known): Address 32 Snell ST

W Mickle Clifford St Morrinsville Morrinsville

TO BE COMPLETED WHEN APPLICATION IS FOR A DWELLING PERMIT IN A RURAL ZONE

Is dwelling to be occupied by a person employed in rural activities on the site _____

Is building to be rented or leased _____ Signature of Owner _____

THIS SPACE RESERVED FOR THE USE OF THE INSPECTOR OF BUILDINGS

Receipt No. D 379

Building Fee 48-00

D. and P. Fee 10-00

B.R. Levy 8-50

Soil Test Fee 13-00

Dep. against F.D. 50-00

Crossing Fee _____

Water Conn. Fee _____

TOTAL: \$129-50

- ① If applicant not to be built position of future garage to be retained on site plan.
- ① Approved means of heating to be provided. Separate permit to be uplifted if heating unit is solid fuel or oil burner.
- ② Aluminium joinery to be finished in an approved manner.
- ③ Excavated pile holes to be inspected prior to house being lowered onto piles.

Received 9-4-76

Date of Permit 23.4.76

Permit No. H 28014

PLEASE NOTE:—

APPLICATIONS FOR NEW BUILDINGS: One application form, one scaled site plan, one set of plans on strong paper, and one specification should be submitted in the first instance. **Note:** Site plans for new dwellings are preferred on a foolscap-sized sheet and scale may accordingly be reduced to, say 1/16th inch. Where special reasons warrant, additional copy of plans and of specifications required by the By-laws as above may be asked for.

APPLICATIONS FOR ALTERATIONS, ADDITIONS, ACCESSORY BUILDINGS, such as private garages: One application form, one site plan, one set of plans and a schedule specification should be submitted in the first instance.

Note: Specification should cover types, grading, spacing (Centres) and sizes of materials. It is important that the position of existing foul drainage (especially gully traps, terminal vent, etc.) should be shown on the plans.

APPLICATIONS FOR BUILDINGS TO WHICH SEPTIC TANKS ARE TO BE PROVIDED: Before a building permit for a building the waste water disposal system of which is to be a septic tank soil soakage system can be finalised, a soil percolation test must first be carried out on the site. Request forms for this service are available at the County Office.

MORRINSVILLE BOROUGH COUNCIL

P.O. Box 45,
MORRINSVILLE.

.....29-5-75.....

.....*Mr. J. C. Herd*.....
.....*Batterid. Co. street Ltd.*.....
.....
.....

Dear Sir,

re: PRELINING INSPECTION OF STOCK HOUSE

Plan No. JOB NO. *41.210*...

With regard to the above I advise that an inspection of this house was carried out by myself on.....*6th 29th May 1975*..... at your yard,.....*Thomas St. Morrinsville*..... and was found to comply with the Morrinsville Borough Council's Building By-Law subject to the following:

.....
.....
.....
.....
.....
.....
.....

Yours faithfully,



I.E. FEASEY
BUILDING INSPECTOR

4773

WAIPA COUNTY COUNCIL

County Office,
P.O. Box 12,
Te Awamutu, N.Z.

..13 April 1976.....

..W..J..Mickell.& Sons.Limited,
..P.O..Box.94,.....
..MORRINSVILLE,.....
.....

Dear Sir,

SOIL PERCOLATION TEST

..Sheehan.Street,.Kihikihi.....

As requested a soil percolation test has been carried out on the above property and a percolation rate of 5 was obtained.

Using this figure and the table on the enclosed drawing, your drainlayer should now be able to complete the enclosed application for a permit for drainage and plumbing work, together with two copies of the completed form, showing septic tank and absorption trench details for a ~~closed circuit~~/serial distribution waste water disposal system.

The drainage proposals must be resolved to the satisfaction of the County Health Inspector before any application for a building permit can be finalised.

Please note applications for both Plumbing and Drainage must be submitted before a permit can be issued.

Yours faithfully,

O. M. Johnston,
PLUMBING & DRAINAGE INSPECTOR.

BEAZLEY HOMES LIMITED

MEMORANDUM

Date 12 14 1976

To: <i>Mr Fraser</i>	From: <i>J Catterick</i>
Subject:	

Enclosed Specifications
and Elevations you require
For the permit.

John Catterick

Attention Mr. Fraser
Waipā Land Council.

Le Iwamutu

With the Compliments

of

Barnett, Cave,

Bannin, Sexton

Chartered Accountants

41 MOORHOUSE STREET,
MORRINSVILLE

Memo:

Permit Fees re Thompson Shelburn head
Kiki Kiki.

\$129-50.

N.Z.
STAMP
DUTY
PAID

Waipā Council

THE
COMMERCIAL BANK
OF AUSTRALIA LIMITED

MORRINSVILLE N. Z.

PAY

Waipā Council

OR BEARER

19

THE
SUM OF

\$

P. P. JOHN CATTERICK CONSTRUCTION LTD.

Hammond
Stewart

203713 040037400016255000

ADDENDUM TO SPECIFICATION DATED ..4-4-75..

CONTRACTOR J. Catterick Morrinsville AREA NO. _____
 TOWN Morrinsville JOB NO. 41213
 OWNER'S SURNAME Morrinsville Spec 3 PLAN NO. M23
 OWNER'S CHRISTIAN NAMES Transportable in yard PHONE NO. _____
 OWNER'S ADDRESS _____
 OWNER'S SOLICITORS _____
 SOLICITOR'S ADDRESS _____
 SOURCE OF FINANCE—Cash / F.B. / S.A.C. / Maori Affairs / _____ Ins. Co. /
 Building Society / Other _____

BEAZLEY SECTION Yes/No Lot _____ D.P. _____
 Location Morrinsville yard

PLAN REVERSED: Yes/No
FOUNDATIONS:
 Piles and Fibrolite piles and fibrolite
 Continuous Concrete n/a
 Concrete Block n/a
 Nib Wall Framing n/a
 Sheathed with fibrolite
 Finish: Paint/Plaster/Splash painted

BASEMENT: (Give Sketch) n/a Yes/No
 Type of Floor _____
 Finish of Floor _____
 Stud Height _____
 Type of Doors _____
 Windows _____
 Wall Linings _____
 Ceiling Linings _____
 Lights Points
 Drainage _____
 Plumbing _____
 Painted Outside _____
 Painted Inside _____

NOTE: If occupation of basement is intended special water-proofing may be necessary.

ROOF:
 Hip/Gable/Flat Dutch gable
 Sheathing decramastic Coffee
 Overhang (from frame) 450mm
 Pitch 15°
 Gable Sheathing highline 200mm

CEILING LININGS:
 Gib. Board Batten/Tape/Flush pinex tiles
pre-painted
 Fibrous n/a
 Other n/a
 Cornice Type wooden
 NOTE: Flush Gib. Board ceilings are liable to crack and become the client's responsibility if specified.

EXTERIOR:
 Weatherboard Type _____
 Brick Type _____
 Sills (if brick job) _____
 Brick Pointing/Coloured Mortar _____
 Front Porch Sheathing 100 mm coverline
 Rear Porch Sheathing 100 mm coverline
 Frieze Board yes

WALL LININGS: gib board

INTERIOR DOORS: Type stain grade

DRESSER TOPS: formica
TUB: Single/Double Type stainless steel
TUB CABINET: wooden
SINKTOP: 5'6" stainless steel
RANGE: (Will it fit) Chef 24C4
DESTRUCTOR: (Will it fit) no Which side? no
FIRE SURROUND: n/a
VANITY UNIT: p.c. \$160-00
WALLPAPER: Prov. Sum per roll p.c. \$3-50

Please prepare a quotation for me, based on the above information.

Representative: _____ Client: _____

NOTE: ALL sections of this addendum **MUST** be completed before the job will be accepted for quoting.

ADDENDUM TO SPECIFICATION DATED 4-4-75

CONTRACTOR J. Catterick Morrinsville JOB NO.
 OWNER'S NAME Morrinsville Spec 3 PLAN NO. M23

PELMETS: Box
 Gib. Board built down n/a
 Fib. Plaster built down

SHOWER: Box/Over Bath separate as plan
 Base Type and Size stainless steel
 Taps/Mixer Type Markham mixer
 Linings seratone
 Mouldings P.V.C.

ELECTRICAL:
 U'Ground/O'Head Length builders care
 Total number Lights (excluding Basement) 14
 Total number Points (excluding Basement) 10
 T.V. Connection yes
 Eye Level Range no

PLUMBING: High/Low high
 Town Supply builders care Yes/No
 Other Supplied by Owner/Builder
 Ajax/Ceiling Tank ajax valve
 Faucetts Position and type n/a
 Hose Taps one
 H.W. Cylinder 40 gal. 30 gal/40 gal.

EXTERIOR JOINERY:
 Front Door D73/2
 Rear Door D2/2
 Laundry Door D2

WINDOWS: ~~Wooden~~/Aluminium (viewed from outside)
 Aluminium type
 Lounge
 Bed. 1 Fisher
 Bed. .2.
 Bed. 3
 Bed. 4
 Kitchen
 Dining
 Laundry
 Bathroom
 W.C.
 Obscure Glass type cotswald

WINDOW HARDWARE: n/a C.P./Bronze

FLOORING: particle board
 (State whether T and G, Particle Board, Concrete, etc.)

SANDER: one
 1 cut for covering
 2 cuts for varnish n/a

DRAINAGE: Septic/Sewer builders care

TERRACE: Size builders care
 Concrete
 Wooden
 Fibrolite
 Handrail Prov. sum per foot for supplying, fixing and painting

N.B.: Dark colours used on the exterior could cause excessive shrinkage and paint failure.

SITE PLAN:
 Show lengths of boundaries and distances to building.
 Mark with X approximate required position of crossing.
 Indicate with an arrow direction of North. Show also position of off-street parking.

To be built in yard

Length of R.O.W. if any.

IS SHEET 3 REQUIRED FOR THIS JOB?
 IS SHEET 4 REQUIRED FOR THIS JOB?

Please prepare a quotation for me, based on the above information.

Representative: Client:

NOTE: ALL sections of this addendum MUST be completed before the job will be accepted for quoting.



SPECIFICATIONS

FOR A BEAZLEY HOME

For Mr & Mrs Thompson

Contractor John Cafferick Construction

Employer _____

PRELIMINARY AND GENERAL

This specification covers materials to be supplied by Beazley Homes Ltd. and work done and materials supplied by the contractor. The word "contractor" shall mean the person or firm engaged under the building contract to carry out and complete the erection of the dwelling house. The addendum attached to this specification forms part of this specification and details the particular requirements of the owner. Any materials in the addendum shall be fixed according to the manufacturers' instructions and in accordance with the lending authorities and Local Body requirements.

CONTRACT: The contract includes the supply and delivery of all materials, labour, fittings, tools, plant, etc., necessary for the due and proper completion of the building as shown on the drawings and herein specified in a thorough and workmanship manner, in strict accordance with the By-Laws.

PRECEDENCE OF DOCUMENTS: Should any discrepancy be discovered between this specification and any other documents which together with this specification comprise the contract to build, then the following shall be the order of precedence: (1) The Building Agreement; (2) The Addendum to Specification; (3) Detailed drawings for any portion of the building whether separate or shown on the scale house plans; (4) This specification; (5) The scale house plans.

PERMITS: Contractor to comply with the Labour and Building By-Laws of the district and to apply for and obtain all necessary permits and to pay all fees for same.

PROVIDE AND FIX: The words "provide" and "fix" shall be construed to mean "provide and fix" where mentioned separately unless otherwise specified.

INSURANCE: The Contractor to take out insurance against fire for a sum sufficient to cover 100 per cent of the Contract sum, the policy to remain in force until the building is taken over by the owner.

WORKMANSHIP: All workmanship must be careful, thorough and in accordance with the Local Body By-Laws and the S.A.N.Z. Building Code.

STABILITY: The Contractor shall carefully brace and support all parts of his work against damage by wind and also protect same from damage by water.

SURPLUS SPOIL: The disposal of any surplus spoil from excavations of foundations, drainage, etc., will be the responsibility of the owner.

MATERIALS: Any materials herein specified that are not procurable at the time they are required may be substituted with other similar materials provided that the substituted materials conform to the Local By-Laws, and the lending institution's requirements. Where alternate materials are specified, the Contractor reserves the right to use any of the alternates unless it is agreed in writing that no alternate may be used.

PRICE FLUCTUATION: Should there be either a rise or fall in the price of labour or materials from the date the quotation is submitted, until final payment, an adjustment to the Contract Price is to be made accordingly, provided that the Contract Price has been affected by such rise or fall in prices.

CONCRETOR

Piles to be pre-cast concrete. Provide as required, dimensions to suit particular local bodies and lending institutions. Set on 300mm x 300mm x 100mm concrete pad. If shown on plan or addendum erect chimney of precast type. Base to be purpose made sections. Sections to be placed on concrete footing full size of base 100mm thick and reinforced. After erection, chimney to be plastered. Alternatively, chimney base may be poured in situ at Contractor's option.

If continuous concrete foundations are specified in the addendum they shall be:—

FOOTINGS: Minimum 130mm x 150mm to solid bearing, reinforced with one 12mm R.M.S.

FOUNDATION WALLS: Minimum 130mm thick with continuous 12mm R.M.S. near top. Concrete shall finish not less than 300mm above ground level. Walls over 915mm in height shall be reinforced with 10mm rods at 380mm centres both ways. 150mm x 150mm piers to carry stringers are to be built from and bonded into wall. Corbels reinforced back into wall may be used in high foundations.

VENTILATION: Provide purpose made vents at appropriate centres and not more than 750mm from any angle.

SOLID BEARING: If solid bearing for piles or continuous foundation is in excess of 300mm below ground level the additional excavation costs, concrete, reinforcements, and back filling shall be subject to an extra charge.

PORCH FLOORS: To be constructed in 100mm concrete reinforced with 10mm R.M.S. rods at 300mm centres or equivalent in H.R.C. fabric. Floors and steps to be plastered with 12mm thick coat of three to one sand and cement rendering.

CARPENTER AND JOINER

All materials are to be laid true to their various levels and constructed in a proper tradesmanlike manner to make the whole of the works a sound construction and to comply with the Local By-Laws in every respect.

JACK STUDS: Where piles do not reach underside of stringers fix 100mm x 75mm jack studs from top of piles to underside of stringers. Brace between jack studs at corners with 100mm x 50mm diagonal bracing. Place damp-course between timber framing and concrete work.

STRINGERS: To be 100mm x 75mm on edge and spaced at approximately 2000mm centres. All joints to be scarfed or spliced over solid bearing.

FLOOR JOISTS: To be 150mm x 50mm gauged to an even surface and nailed with 75mm and 100mm nails to stringers or bearers. All joists to be lapped or butted over a solid bearing. Provide double joists under exterior end walls.

PLATES: All to be straight, scarfed at all joints and halved at corners and intersections, other than interior bottom plates between partitions.

STUDS: To be double nailed to all plates with 75mm and 100mm nails. Wall height to be approximately 2400mm.

TRIMMERS: All window openings to have lintels in accordance with S.A.N.Z. Openings 1220mm and over to have lintels supported by 100mm x 50mm stretcher studs cut between lintels and bottom plate. 100mm x 50mm jack studs to be cut between bottom plate and sill trimmer. Sill trimmer to be one 100mm x 50mm, openings over 2200mm to have two 100mm x 50mm spiked together.

BRACES: Wherever possible brace to all external corners with 150mm x 25mm braces cut into studs or alternatively use purpose made galvanised angle metal bracing. Provide 100mm x 50mm ceiling runners to all spans from 180mm to 2400mm. For spans over 2400mm provide a 200mm x 25mm on edge with a 100mm x 50mm nailed to the ceiling joists and spiked to the 200mm x 25mm.

ROOF: Roof to be framed up properly in the manner as shown to required degree of pitch. Rafters to be 100mm x 50mm spaced as shown in timber schedule, properly birdsmouthed and checked and securely nailed to all plates, ridges and hips with 75mm and 100mm nails. Provide collar ties, under-purlins and roof strutting to S.A.N.Z. Alternatively prefabricated nail plate trusses may be used at 900mm centres. Fix 75mm x 50mm purlins at maximum 800mm centres. For concrete tile roofs, rafters shall be 100mm x 50mm B.A.O.B.R. or Douglas Fir, or 125mm x 50mm P.G.B.T. Radiata. To gable roofs provide and fix galvanised angle metal bracing, or 150mm x 25mm fixed diagonally to under side of rafters as wind bracing.

BASE SHEATHING: Unless otherwise specified base sheathing shall be 6mm asbestos cement sheets fixed to timber backing as shown in the standard details.

VENTILATION: Provide purpose made vents at appropriate centres and not more than 750mm from any angle.

EAVES: Allow the rafters to overhang as shown and cut off plumb. Frame down with 100mm x 50mm and fix 150mm x 25mm or 200mm x 25mm Fascia board. Line under with asbestos sheets and finish as detailed. Alternatively Fascia may be an approved metal type.

EXTERIOR SHEATHING: Sheathing will consist of 235mm fibroplanks fixed to manufacturer's instructions, or alternative materials as specified in the addendum.

FLOORING: To be High Density Flooring Grade particleboard. On completion of all trades, clean off with one cut of machine sanding.

NOGGING: Nogging to exterior and interior walls shall be to S.A.N.Z. Ceiling nogging for conventional framed ceilings shall be 75mm x 25mm checked in flush with the bottom of the ceiling joists spaced as required to take joints of ceiling sheets.

CEILING FRAMING: Where truss roof construction and prefabricated Gibraltar board wall partitions are used, provide 75mm x 40mm strapping at 400mm centres generally. Where truss roof construction and conventional interior wall framing is used, provide intermediate 100mm x 50mm ceiling joists and 100mm x 50mm noggings to suit ceiling sheets. Where pinex ceilings are required, provide 50mm x 25mm strapping at 400mm centres in lieu of noggings.

CEILINGS: Ceilings to be lined with 9mm Gibraltar board sheets. All sheets to be nailed with galvanised flat head nails and to have joints covered with splayed or half round batten or purpose made jointer.

CORNICES: Provide wooden scotia moulding to all ceilings.

LININGS: All interior wall-papered walls to be lined with 9mm Gibraltar board sheets flush jointed. All sheets to be nailed with galvanised flat heads on joints every 150mm and intermediate studs every 230mm. All interior painted wall joints and angles to be covered with purpose made mouldings. Alternatively prefabricated Gibraltar board lined partitions may be used. All stopping to be done with the best stopping plaster, filled to an even surface and all spots and risers removed.

INGOING TO PORCHES: Ingoing to back and front porches to be lined with 4.5mm asbestos sheets. Joints and angles to be finished with purpose made mouldings.

WARDROBES: To be lined and ceiled and to have 300mm full length hat shelving. Provide hanger rod.

LINEN CUPBOARD: To be lined and finished as for wardrobes and to be fitted with full width slatted shelves spaced approximately 450mm apart.

KITCHEN CUPBOARDS: Fix units as shown on plan.

HOT WATER CUPBOARD: Provide hot water cupboard where shown with two rows of slatted shelving above the cylinder.

ALUMINIUM JOINERY: Fixed according to manufacturers' specification.

WOODEN JOINERY: All exterior door and window frames and sills to be as mentioned in schedule and to be grooved, throated and constructed in a proper manner and joints primed before assembly.

Sashes to be top opening, hung on friction stays and secured with split rail fasteners. Where sashes are shown as split rail type, bottom portion will be fixed. All landscape sashes will be fixed.

TIMBER SCHEDULE

POSITION IN BUILDING	Size	TYPE		GRADE	Remarks
Jack Studs	100x75 P.G.	Treated Radiata	or B.A.Ht. Rimu	To General List of Timber Acceptances (Housing) accepted by Housing Corporation of N.Z.	Generally 1400mm centres
Stringers	100x75 P.G.	" "	" "		Approx. 2000mm centres
Foundation Bracing	100x50 P.G.	" "	" "		
Jack Framing (Fibrolite Bases)	100x50 P.G.	" "	" "		
Floor Joists	150x50 P.G.	" "	" "		Approx. 450mm centres maximum
" "	200x50 P.G.	" "	" "		When required
" "	225x50 P.G.	" "	" "		" "
" "	250x50 P.G.	" "	" "		" "
" "	300x50 P.G.	" "	" "		" "
Herringbone Bracing	50x50 P.G.	" "	" "		" "
Top and Bottom Plates (Exterior)	100x50 P.G.	" "	B.A.O.B.		" "
Top and Bottom Plates (Interior Bearing)	100x50 P.G.	" "	" "		" "
Top and Bottom Plates (Non Bearing)	50x50, 75x50 or 100x50 P.G.	" "	" "		" "
Studs (Non Bearing)	75x50 or 100x50 P.G.	" "	" "		Douglas Fir
Studs, External and Internal (Bearing)	100x50 P.G.	" "	" "		" "
Window Trimmers, Top	200x50 P.G.	" "	" "		" "
Window Trimmers, Bottom	100x50 P.G.	" "	" "		" "
Window Stretchers	100x50 P.G.	" "	" "		" "
Window Jacks	100x50 P.G.	" "	" "		" "
Ceiling Joists	100x50 P.G.	" "	" "		" "
Ceiling Runners	200x25 R.S.	" "	" "		" "
" "	100x50 P.G.	" "	" "		" "
Ceiling Ribbons or Strapping	50x25, 75x40 or 75x25 P.G.	" "	" "		" "
Rafters (Iron Roof)	100x50 P.G.	" "	" "		" "
Rafters (Metal Tiled Roof)	100x50 P.G.	" "	" "		" "
Rafters (Concrete Tiled Roof)	100x50 or 125x50 P.G.	" "	" "	" "	
Struts (Roof)	100x50 P.G.	" "	" "	" "	
Under purlins (Concrete Tile Roof)	100x75 P.G.	" "	" "	" "	
Under-Purlins (Metal Roof)	100x50 P.G.	" "	" "	" "	
Collar Ties	150x25 R.S.	" "	" "	" "	
Trusses	100x50	" "	" "	" "	
Ridges and Hips	200x25 R.S.	Treated Radiata	or B.A.Ht. Rimu or Douglas Fir		
Valley Rafters	150x50 P.G.	" "	" "	" "	
Valley Boards	150x25 R.S.	" "	" "	" "	
Purlins	75x50 R.S.	" "	" "	" "	
Dwangs (Nogging)	100x50 or 75x50 P.G.	" "	" "	" "	
Braces	75x50 or 100x50 P.G.	" "	" "	" "	
Fascia and Frieze Board	150x25, 200x25 or 225x25	" "	" "	" "	
Internal Door Jambs	25	O.B. Rimu	or Finishing Grade Radiata		
Internal Door Stops	12	" "	" "	" "	
Architraves	50x12	" "	" "	" "	
Skirting	50x12	" "	" "	" "	
Sill Boards	25	" "	" "	" "	
Window and Door Jambs	150x40	D.A.H. Rimu	or Treated D.O.B. Native Timber or Cedar or Treated Radiata		
Window Sills	150x50	" "	" "	" "	
Door Sills	200x60	" "	" "	" "	
Window Mullions	100x75	" "	" "	" "	
Window Sashes	100x50 & 60x50	" "	" "	" "	

Interior Finishing work not specifically mentioned to be D.A. Rimu or Finishing Grade Radiata.
 Exterior finishing work not specifically mentioned to be D.A.H. Rimu or approved Treated Timber.

DOORS: Interior (main) 1980mm x 760mm hollow flush type. W.C., bathroom 1980mm x 660mm hollow flush type. Wardrobes, etc. 1980mm x 660mm hollow flush type. Interior doors to be hung in 25mm jambs with 12mm planted stops. Alternatively door jambs and window jambs may be grooved for wallboard sheets, in which case architraves will not be required. Exterior front, 1980mm x 810mm, two light obscure glazed. Exterior rear 1980mm x 810mm, two or three light obscure glazed. Exterior laundry 1980mm x 760mm, two or three light obscure glazed. Fit interior main doors with C.P. latch sets. Fit W.C. and bathroom doors with snib sets. Fit wardrobe and linen doors with half sets. Fit front door with C.P. night latch and handle. Fit rear door and exterior laundry door with C.P. lock set.

FINISHING: Finish off inside of door and window openings with 50mm architraves. Windows to have 25mm sillboards. Skirting to be 50mm fitting to all walls.

BATHROOM: Bath to be built in with framing and lined around with wallboard sheets. Finish around bath with timber splash board. Build in single shaving cabinet with mirror.

MANHOLE: Provide an opening in ceiling and provide cover of same material as ceiling.

LAUNDRY: Provide single 560mm x 450mm stainless steel tub and brackets.

FIRE SURROUND: If plan or addendum specifies a chimney provide a fire surround to owner's requirements and allow a provisional sum of \$

SINK TOP: To be stainless steel fluteline.

PLUMBER

FLASHING: Flash chimney and all openings through roof with appropriate materials and make the building water tight.

SPOUTING: To be approved type supported on brackets to manufacturers' instructions and given evenly graded falls to downpipe outlets.

ROOF: 0.45mm Corrugated Galvanised Iron. All laps to be primed. Where required by Local Authority or lending institution, fix under roofing tightly stretched netting, and on top of this lay building paper. Valleys to be 0.60mm Galvanised Iron.

WATERPROOF: Leave the building absolutely waterproof in every respect. Any part or parts omitted from this specification and necessary to make the building water-tight, shall be taken as mentioned.

COLD WATER: Lay water from supply through galvanised, P.V.C. or copper piping, fitted with all necessary fittings to points over basin, sink, W.C., tub bath and inlet to hot water cylinder.

HOT WATER: Provide and fix an approved electric hot water cylinder to capacity required by local Power Board with element and thermostat control and all necessary connections to make same in working order. Lay water through copper piping lagged where required by local authority to bath, basin, sink, laundry washer and tub.

BATHROOM: Provide and fix in bathroom one R.V. pressed steel enamelled or other approved bath. Provide one 560mm x 400mm W.P. earthenware wall basin on brackets, or "Midi" vanity where shown on plan.

WATER CONNECTION: Fees for water connection to be paid by Contractor to Local Authority.

WASTES: Bath, tub and sink to have 38mm; basin to have 30mm; P.V.C. or copper traps and P.V.C. or copper wastes. All wastes to discharge into gully traps. Provide and fix all necessary anti-syphons. All sanitary plumbing to be installed by a registered plumber approved by the Health Department and the Sanitary Inspector.

TAPS: Taps and extensions, except stop cocks, to be chromium plated streamlined bib and pillar cocks indicated "Hot" and "Cold" respectively. Stop cocks to be brass. Install one brass hose tap.

W.C.: To be provided complete with white earthenware pan, plastic seat, low set flush cistern, flush pipe, soil pipes, fittings and vent.

DRAINER

DRAINAGE: Excavate for and lay all necessary drains from gully traps and W.C. to septic tank or town sewer. All pipes and connections to be 100mm first quality earthenware or any alternative that is acceptable to the Local Authority, with sound socket joints to be laid to a true and even fall.

All joints to earthenware pipes to be sealed with rubber rings. Fill in trenches carefully after the work has been inspected.

SEPTIC TANK: Where town sewerage is not available, allow to provide a septic tank, constructed and situated to Local Body requirements. Lay sewer drains from gully traps and W.C. to this tank. From septic tank take effluent to soak hole in glazed earthenware pipes. All drainage work to comply with Health Regulations.

PAINTER AND PAPERHANGER

MATERIALS: All materials to be used according to best trade practices.

EXTERIOR: All woodwork to be sanded between coats. Exterior woodwork and interior of wooden sashes to receive one coat of first quality priming. Putty all nailholes and finish with two coats of approved paint as selected.

Metal spouting and downpipe and metal fascia when used to be given one coat of approved primer and two coats of approved paint as selected or alternatively two coats of acrylic. Where pre-finished fascia, spouting or downpipes are used painting of these items is not required.

ROOF: Painting of roof to be Owner's responsibility.

INTERIOR: Walls and ceilings of all service rooms to have a coat of pigmented sealer or similar. All finishing timber trim to be given a coat of white primer then all work to be given one coat of undercoat and one coat of selected enamel in shades to suit owner. Woodwork to be sanded between coats.

Ceilings in other than service rooms to be given one coat of sealer and two coats of flat paint or alternatively two coats of acrylic. Finishing not to be painted, to have one coat of clear sealer and two coats of varnish. The inside of wardrobes to be painted with two coats of acrylic paint. The inside of linen cupboard, cylinder cupboard and kitchen cupboards are not painted, other than the inside of the doors.

COLOURS: The number of colours per room shall not exceed three. Additional colours may be added at extra cost.

WALLPAPER: Walls of other than service rooms to be wallpapered. Wallpaper cost per roll to average \$ as agreed with the Contractor. Papers to be hung plumb and joints butted where possible. Walls first to have a coat of sealer.

ELECTRICIAN

ELECTRICIAN: The Electrician will make the necessary notifications to the Local Power Board. All work to be carried out to the satisfaction of the said Power Board and the Underwriter's Association.

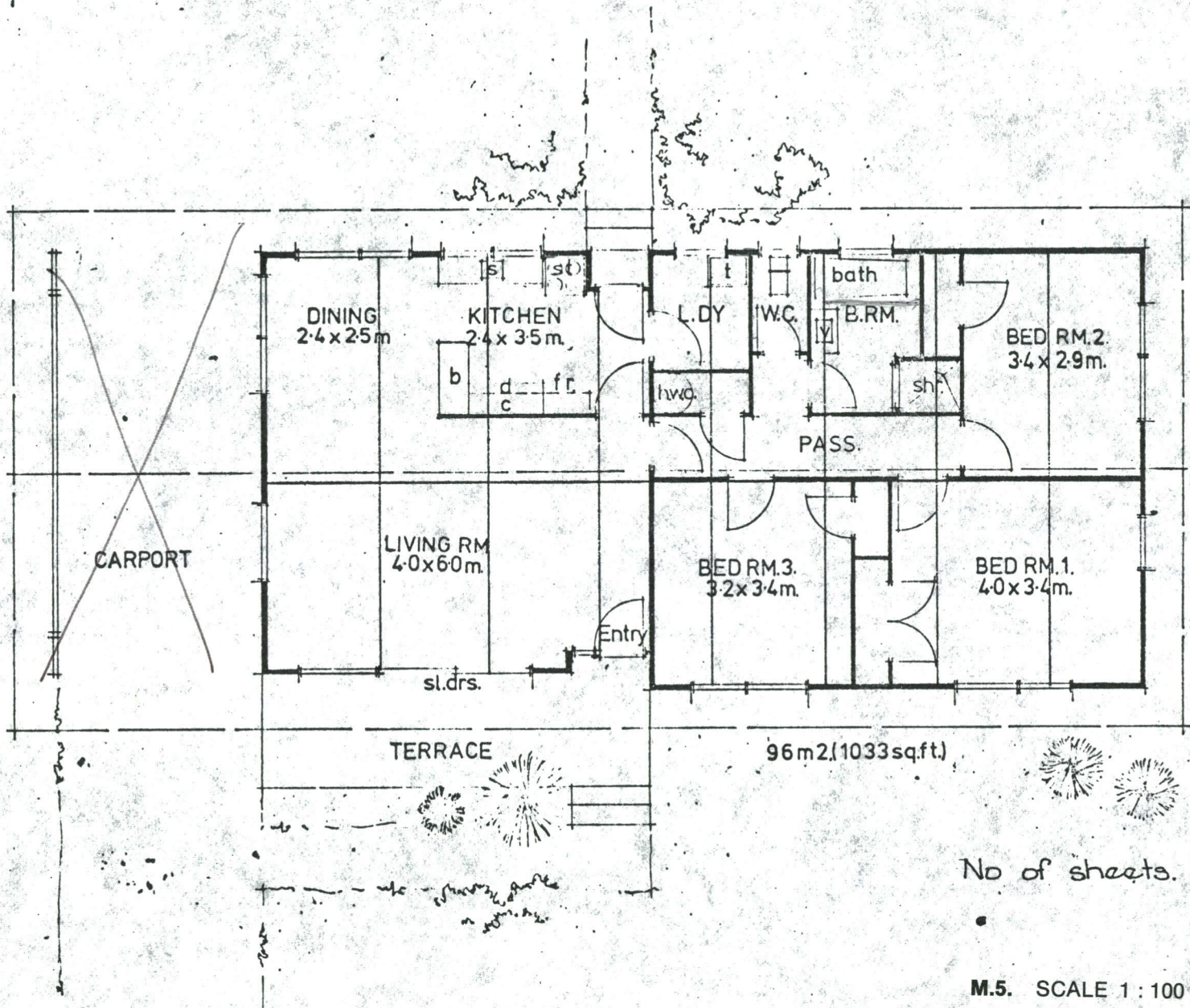
METER PANEL: Provide and fix one meter panel complete where directed by the Power Board Authority.

SWITCHES: Provide and fix flush switches to all light points.

LIGHTS: Provide and fix one light point to each room, one to hall, and one to front and rear porches where directed.

POWER: Provide and fix a total of 8 power points where directed and make connections to hot water cylinder and stove.

STOVE: Allow the provisional sum as shown on addendum for supply of electric stove and fix where shown.



No of sheets. 16: 3600 x 1800

M.5. SCALE 1 : 100

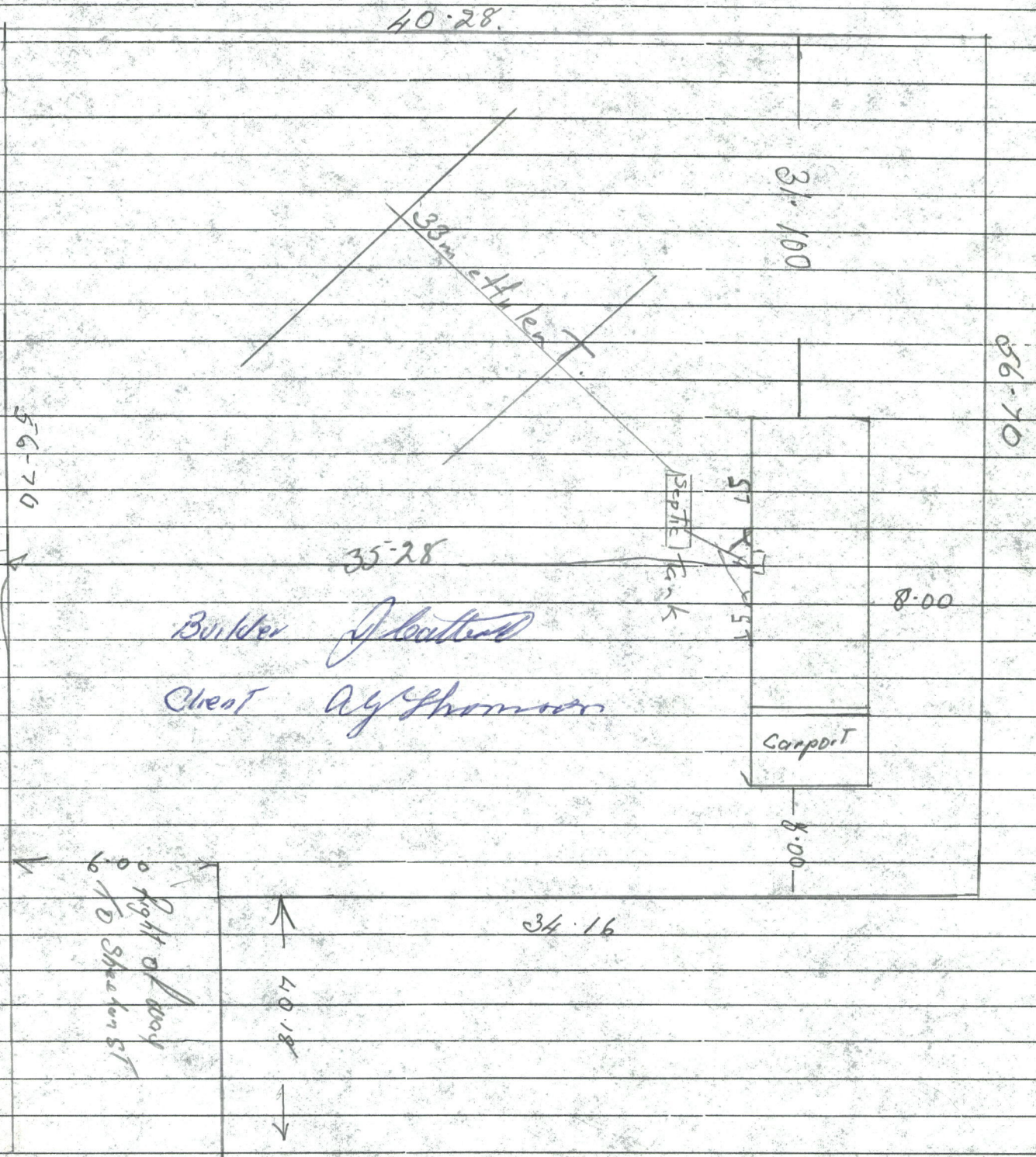


ADDENDUM TO SPECIFICATION

AREA No.
 JOB No.
 PLAN No.
 DATE

CLIENT'S NAME
 CONTRACTOR

Site Plan for Mr & Mrs Thompson
LOT 2 Sheehan ST Kibikibi
No To Scale



Please prepare a quotation for me based on the above information.

Client's Signature